



**NOTICE OF PUBLIC HEARING
CONCERNING A PROPOSED MINOR VARIANCE TO
ZONING BY-LAW 10-04 (AS AMENDED)
OF THE TOWN OF GRAVENHURST**

Respecting an application by **Bryan and Colleen FALDOWSKI**
for a variance to lands municipally known as **1138 TOMINGAS ROAD (Sunny Lake)**
(Application No. **A/15/2026**)

TAKE NOTICE THAT the above noted application will be heard by the Town of Gravenhurst Committee of Adjustment on

Friday, June 19, 2026
at 9:00 a.m. at the
Gravenhurst Municipal Offices
(Council Chambers)
5 Pineridge Gate
Gravenhurst, Ontario

TO CONSIDER a proposed minor variance application under Section 45 of the Planning Act, 1990, R.S.O. c.P.13, as amended.

AN EXPLANATION of the Purpose and Effect of the proposed minor variance, describing the lands to which the proposed minor variance applies, a Key Map showing the location of the lands to which the minor variance applies, and a sketch (Site Plan) showing the proposed minor variance, accompany this Notice.

A NOTICE of this Application has been sent to all property owners within 60 metres of the subject property and to the appropriate officials and agencies according to Ontario Reg. 200/96 under the Planning Act. This Notice has been sent to you for your information and does not require any response unless you wish to make one.

ADDITIONAL INFORMATION relating to the proposed minor variance, is available from the Development Services Department (Planning Division) by contacting Angela Ghikadis, Planner, 705-687-3412 ext. 2246 (angela.ghikadis@gravenhurst.ca), or Adam Ager, Manager of Planning Services ext. 2224 (adam.ager@gravenhurst.ca).

PUBLIC HEARING – Any person or agency may attend and provide representation at the hearing and/or make written representation prior to the hearing, either in support of, or in opposition to the proposed minor variance.

ALTERNATIVELY, ANY PERSON OR AGENCY may also provide verbal comments during the meeting electronically using MVI EasyConf Connect Conference System (this is NOT Zoom), in accordance with Section 238 of the Municipal Act and the Town's Procedural By-law. A request to address Committee electronically must be completed at www.Gravenhurst.ca/PublicParticipation and **submitted prior to 12:00 pm (Noon) on the day before the Public Hearing**. Please note that the public hearing is taking place in person and any issues with electronic participation will not prevent the meeting (and a potential decision) from proceeding.

FAILURE TO ATTEND HEARING - If you do not attend the Hearing, it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION - A copy of the decision of the Committee will be sent to the applicant and to each person who appeared or was represented by Counsel at the Hearing and who has filed with the Secretary-Treasurer a written request for notice of the decision.

Dated at the Town of Gravenhurst
This 9th day of June, 2026.

Adam Ager
Secretary-Treasurer

Variances Requested to Zoning By-law

Re: Application No. A/15/2026
FALDOWSKI, Bryan and Colleen
Roll No. 020-001-11000

The applicants are proposing to increase the height of the existing Dwelling to facilitate a basement walkout, add an enclosed entry room addition, recognize the location of an existing sauna and increase the existing Shoreline Buffer, all as shown on the attached sketches dated June 9, 2026.

When a Dwelling is located within 10.0 metres of the water (Sunny Lake), there is no permitted increase in the existing building height, which is measured from the lowest grade at the lake side of the building to the midpoint of the highest roof. The existing Dwelling is 4.7 metres in height, and the proposed Dwelling is 5.9 metres in height, representing a variance of 1.2 metres.

There is an existing covered Deck on the south side of the Dwelling that the applicants are proposing to remove and replace with an enclosed entry room addition that will be setback 2.1 metres from the southern side lot line at the closest point, whereas the existing Dwelling is setback 4.0 metres from the southern side lot line, representing a proposed variance of 1.9 metres.

There is an existing Sauna located 1.0 metre from the northern side lot line, where a 6.0 metre side yard setback is required, representing a requested variance of 5.0 metres.

The applicants are proposing to increase the natural Shoreline Buffer by planting vegetation to increase the vegetated area within 20.0 metres of the water (Sunny Lake) to 32.9% from 7.6%, an increase of 25.3%. The Zoning By-law stipulates a minimum Shoreline Buffer of 75%, representing a requested variance of 42.1%.

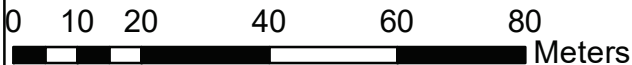
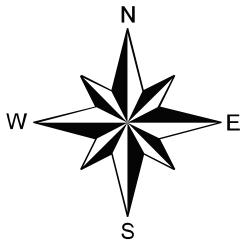
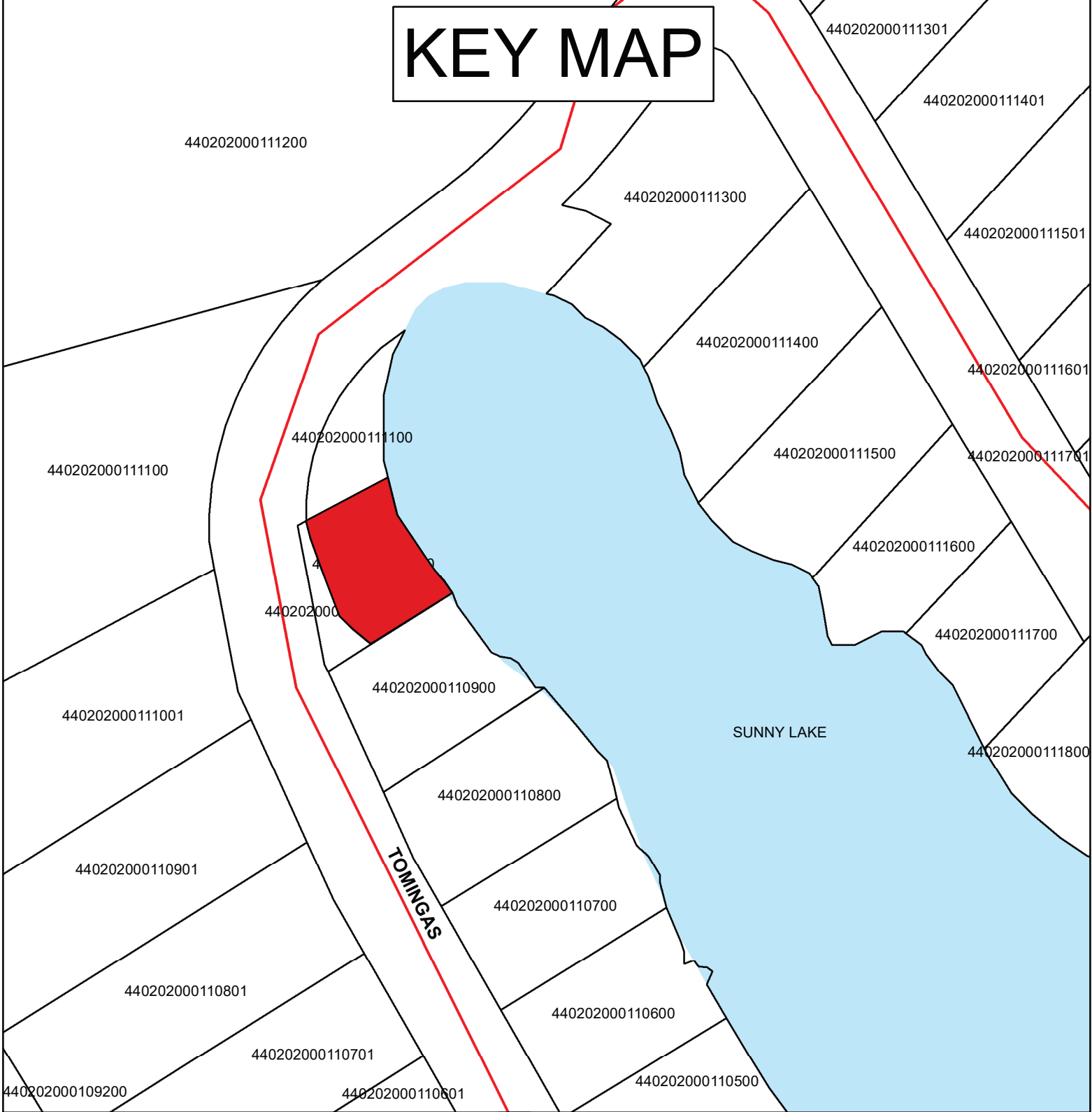
If approved, the requested variance will:

- Permit an increased Dwelling height that will facilitate a raised Dwelling that will result in a habitable lower level in the Dwelling
- Permit a Dwelling addition (entry porch) to be setback a minimum of 2.1 metres from the southern side lot line
- Permit an existing Sauna to be setback a minimum of 1.0 metre from the northern side lot line
- Permit a Shoreline Buffer of 32.9%, with the remainder of the area within 20.0 metres of Sunny Lake to be occupied by structures, landscaping features or lawn.

ZONING BY-LAW 10-04, as amended – Residential Waterfront (RW-6B)

The property is municipally known as 1138 Tomingas Road (Zoning Grid Schedule No. E07).

KEY MAP



1:1,181

SCHEDULE

Minor Variance

Application No. A/15/2026

FALDOWSKI, Bryan & Colleen

municipally known as 1138 Tomingas Road (Sunny Lake)

in the former Township of Muskoka

now in the Town of Gravenhurst

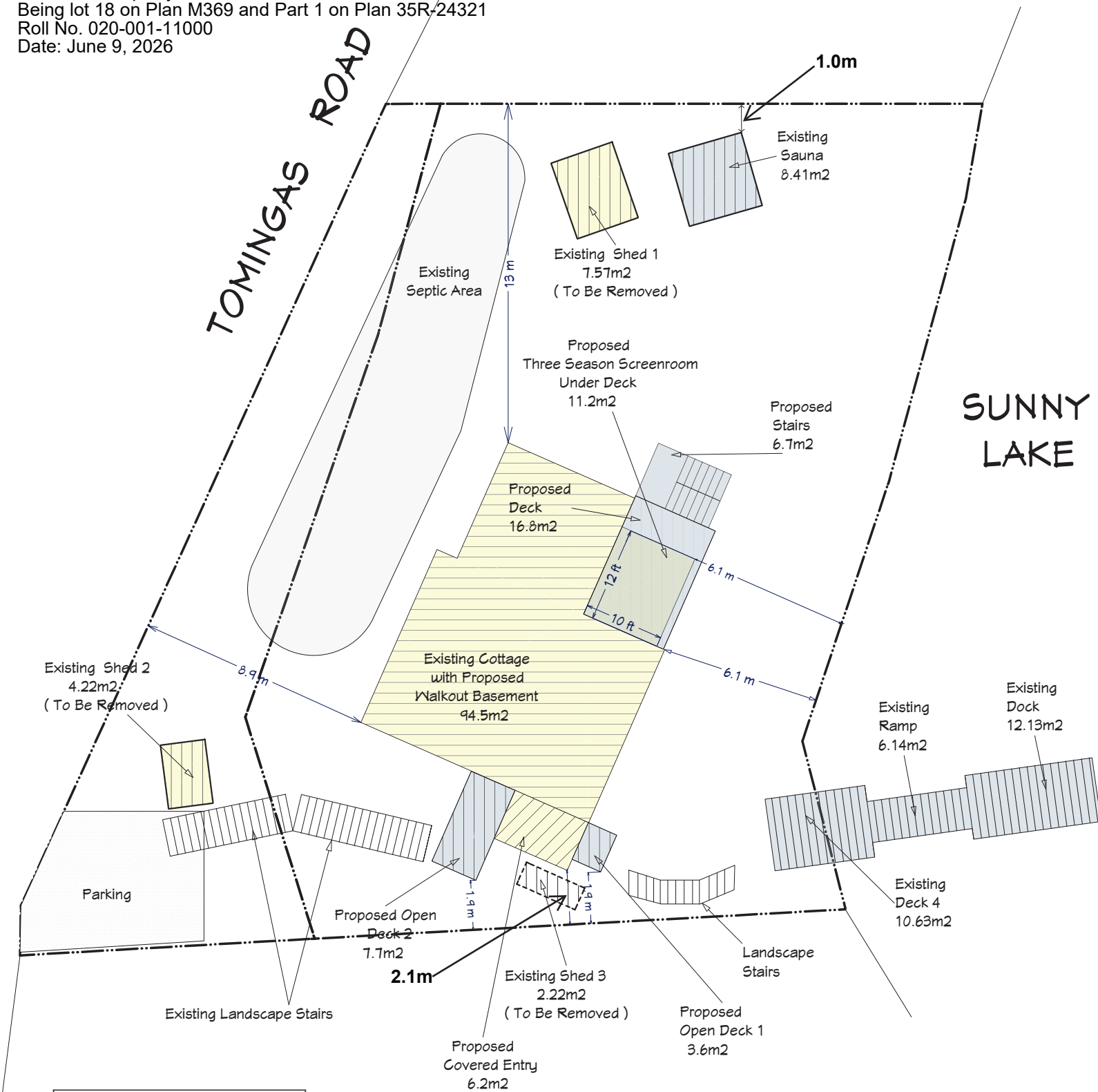
District Municipality of Muskoka

Being lot 18 on Plan M369 and Part 1 on Plan 35R-24321

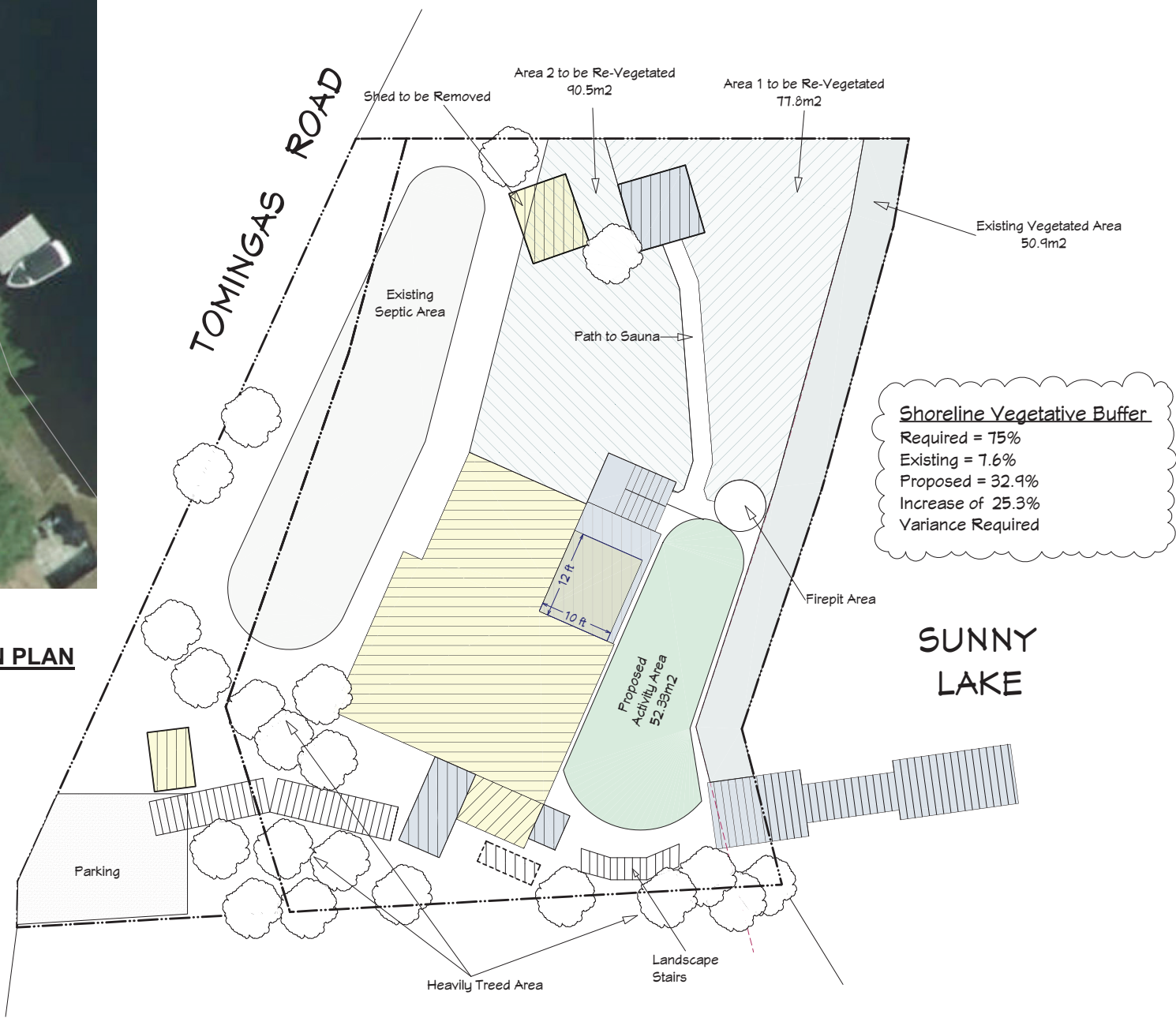
Roll No. 020-001-11000

SCHEDULE (1 of 3) – SITE PLAN

Minor Variance
Application No. A/15/2026
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Date: June 9, 2026



Information for Site Plan taken from Survey
By CT Strongman
Dated July 2013



Shoreline Vegetative Buffer
 Required = 75%
 Existing = 7.6%
 Proposed = 32.9%
 Increase of 25.3%
 Variance Required

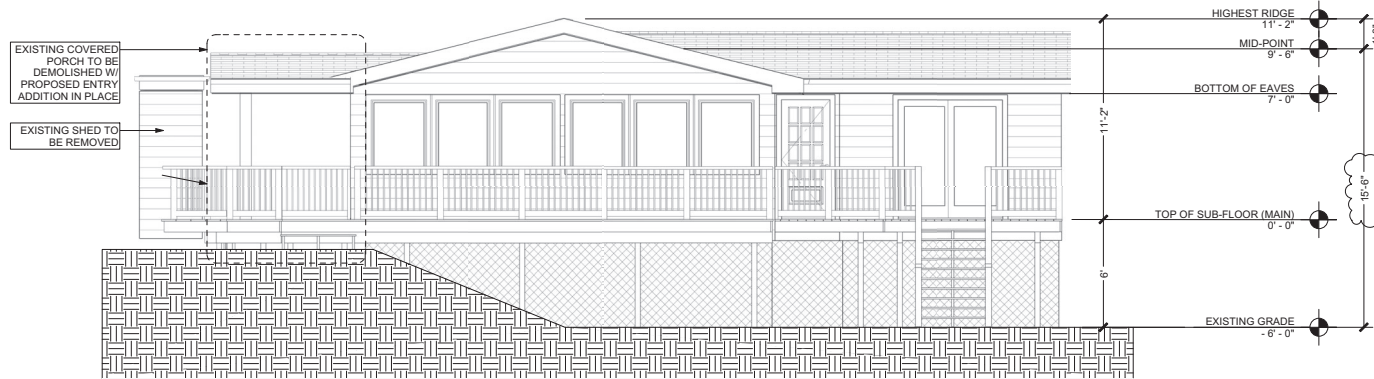
SCHEDULE (2 of 3) – VEGETATION PLAN

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EXISTING ELEVATION



- DEMOLITION NOTES:**
1. PREP FOR COTTAGE RAISING.
 2. ALL EXISTING PIERS TO BE REMOVED.
 3. PREP FOR EXCAVATION.

E1
A - 1.0.

EXTERIOR ELEVATION: LAKE SIDE
 SCALE: 1/4" = 1' - 0"

PROPOSED ELEVATION



E2
A - 1.0.

EXTERIOR ELEVATION: LAKESIDE
 SCALE: 1/4" = 1' - 0"

