



**NOTICE OF COMPLETE APPLICATION AND OF PUBLIC MEETING
CONCERNING A PROPOSED AMENDMENT TO ZONING BY-LAW 10-04 (as amended)
OF THE TOWN OF GRAVENHURST**

Respecting an application by **ALLA, Bilal**
to amend the zoning of lands located at **1355 NARROWS ROAD (LAKE MUSKOKA)**
(Application No. ZA 08-2026)

TAKE NOTICE THAT a complete application has been accepted under Section 34 of the Planning Act, R.S.O.1990, Chapter p. 13, as amended, regarding the above noted property.

ADDITIONALLY, TAKE NOTICE THAT the Council of the Corporation of the Town of Gravenhurst will hold a Public Meeting in relation to the application on

TUESDAY, May 26th, 2026
at 3:00 p.m. at the
Gravenhurst Municipal Offices
(Council Chambers)
5 Pineridge Gate, Gravenhurst, Ontario

THE PURPOSE of the Public Meeting will be to consider a proposed amendment to Zoning By-law 10-04 (as amended) of the Town of Gravenhurst pursuant to the provisions of Section 34 of The Planning Act, R.S.O. 1990, Chapter P.13, as amended.

THE FOLLOWING INFORMATION is attached to this notice for your information and review:

- an explanation of the Purpose and Effect of the Proposed By-law;
- a key map showing the location of the property affected by the Proposed By-law; and
- a sketch (Site Plan).

ANY PERSON OR AGENCY may attend the Public Meeting and/or make written submissions either in support or opposition to the Proposed By-law.

ALTERNATIVELY, ANY PERSON OR AGENCY may also provide verbal comments during the meeting electronically using MVI EasyConf Connect Conference System (NOT Zoom), in accordance with Section 238 of the Municipal Act and the Town's Procedural By-law.

A request to address Planning Council electronically must be completed at www.Gravenhurst.ca/PublicParticipation and **submitted prior to 12:00pm (noon) on the day before the Public Meeting**. Please note that the Public Meeting is taking place in person and any issues with electronic participation will not prevent the meeting (and a potential decision) from proceeding.

IF A SPECIFIED PERSON OR PUBLIC BODY would otherwise have an ability to appeal the decision of the Town of Gravenhurst to the Ontario Land Tribunal, but the specified person or public body does not make oral submissions at a public meeting or make written submissions to the Town of Gravenhurst, before the Zoning By-law is passed, the specified person or public body is not entitled to appeal the decision.

IF A SPECIFIED PERSON OR PUBLIC BODY does not make oral submissions at a public meeting or make written submissions to the Town of Gravenhurst, before the Zoning By-law is passed, the specified person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

IF YOU WISH TO BE NOTIFIED of the decision of the Town of Gravenhurst in respect of the proposed By-law, you must make a written request to Melissa Halford, Director of Development Services

ADDITIONAL INFORMATION relating to the proposed amendment to Zoning By-law 10-04 is available from the Development Services – Planning Division. For further information, please contact Angela Ghikadis, at 705-687-3412 ext. 2246 (angela.ghikadis@gravenhurst.ca) or Adam Ager, Manager of Planning Services, 705-687-3412 ext. 2224 (adam.ager@gravenhurst.ca) during office hours.

DATED at the Town of Gravenhurst this 5th day of May, 2026.

Melissa Halford, Director of Development Services.

Purpose and Effect of the Proposed Zoning By-law

Re: Application No. ZA 08-2026
ALLA, Bilal
Roll No. 020-033-05500

An application to amend the zoning by-law was received in order to permit the redevelopment of the property with the construction of a new Dwelling, Garage and Boathouse with Docks as shown on the attached sketch dated May 5th, 2026.

The new Dwelling is proposed to have an attached covered porch, Deck and Balcony. The new Dwelling and Garage will cumulatively result in a proposed footprint of 294.8 square metres, representing a lot coverage of 17.4%, where 13% is permitted.

The new Dwelling is proposed to have a maximum height of 9.3 metres, where a height of 7.5 is permitted.

The new Dwelling is proposed to be setback 15.4 metres from the optimal summer water level (Lake Muskoka), where a 30.0 metre setback is required for a new Dwelling (that is not located on the footprint of the previously existing Dwelling).

The new Dwelling is also proposed to be setback a minimum of 4.8 metres from the eastern side lot line (abutting a road allowance), where a 6.0 metre side lot line setback is required.

The new Garage is proposed to be setback a minimum of 4.6 metres from the eastern side lot line (abutting a road allowance), where a 6.0 metre side lot line setback is required.

The applicants are proposing to construct a new Boathouse with Docks within a narrow waterway. A Boathouse is not permitted within a narrow waterway.

The new Boathouse and Docks are proposed to extend up to 12.2 metres from the shoreline, where a maximum extension of 6.0 metres is permitted in a narrow waterway.

The new Boathouse and Docks are proposed to be setback a minimum of 5.2 metres from the setback for the Boathouse and Docks from the eastern side lot line, where a minimum setback of 6.0 metres is required.

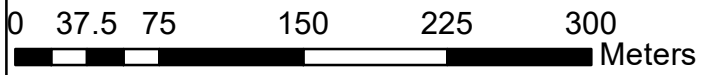
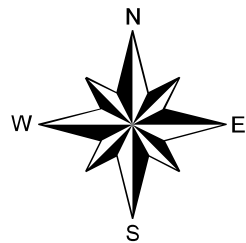
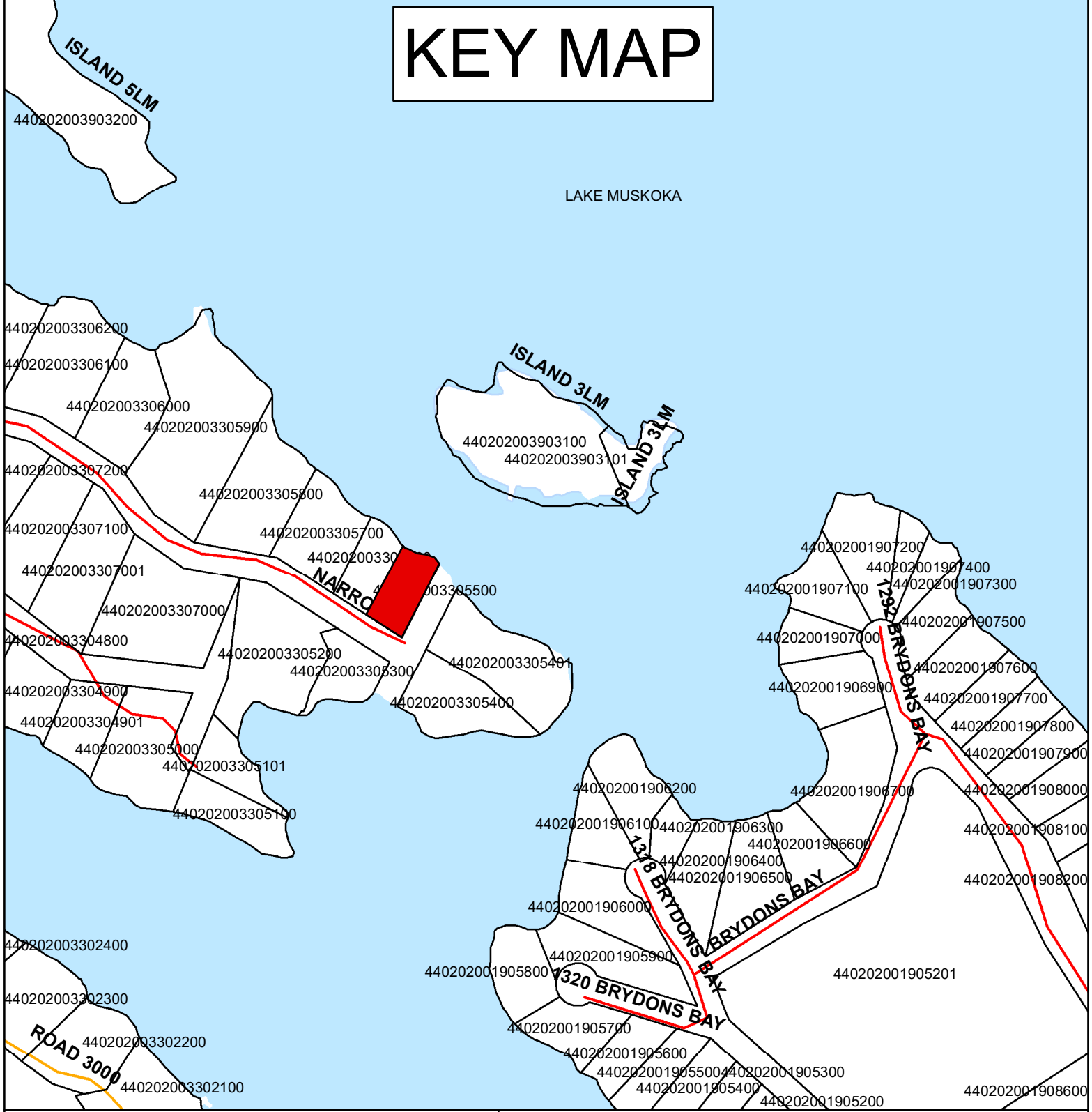
If approved, the Zoning By-law Amendment will permit:

- a new Dwelling and Garage to result in 17.4% lot coverage
- a new Dwelling to have a maximum height of 9.3 metres
- a new Dwelling to be setback a minimum of 15.4 metres from Lake Muskoka
- a new Dwelling to be setback a minimum of 4.8 metres from the eastern side lot line
- a new Garage to be setback a minimum of 4.6 metres from the eastern side lot line
- a new Boathouse to be located on a narrow waterway
- a new Boathouse and Docks to have a maximum extension from the shoreline of 12.2 metres
- a new Boathouse and Docks to be setback a minimum of 5.2 metres from the eastern side lot line

The property is legally described as Part of Lot 26, Concession 8, in the former Township of Muskoka, now in the Town of Gravenhurst, District Municipality of Muskoka, being the East part of Lot 13 on Plan 9 (Zoning Grid Schedule No. C05).

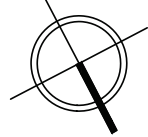
The subject property is located within the "Waterfront Area" designation of the Town of Gravenhurst Official Plan.

KEY MAP



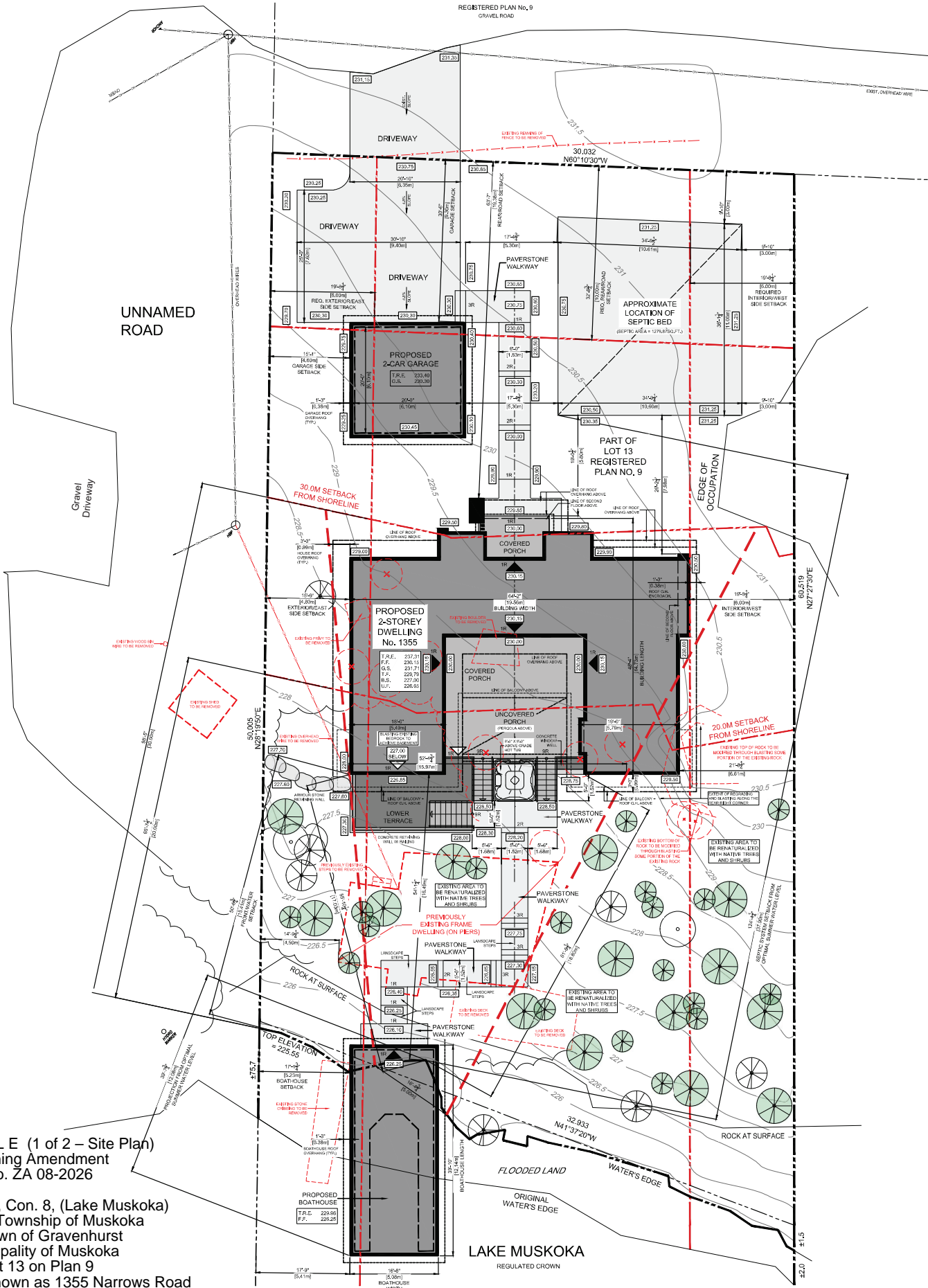
1:3,935

SCHEDULE
Proposed Zoning Amendment
Application No. ZA 08-2026
ALLA, Bilal
Part of Lot 26, Con. 8, (Lake Muskoka)
in the former Township of Muskoka
now in the Town of Gravenhurst
District Municipality of Muskoka
Being E Pt Lot 13 on Plan 9
municipally known as 1355 Narrows Road
Roll No. 020-033-05500



KNOWN AS NARROWS ROAD

REGISTERED PLAN No. 9
GRAVEL ROAD



SCHEDULE (1 of 2 – Site Plan)
 Proposed Zoning Amendment
 Application No. ZA 08-2026
 ALLA, Bilal
 Part of Lot 26, Con. 8, (Lake Muskoka)
 in the former Township of Muskoka
 now in the Town of Gravenhurst
 District Municipality of Muskoka
 Being E Pt Lot 13 on Plan 9
 municipally known as 1355 Narrows Road
 Roll No. 020-033-05500
 Dated: May 5, 2026

