



**NOTICE OF PUBLIC HEARING
CONCERNING A PROPOSED MINOR VARIANCE TO
ZONING BY-LAW 10-04 (AS AMENDED)
OF THE TOWN OF GRAVENHURST**

Respecting an application by **Paul MASON and Sara RUDGE**
for a variance to lands municipally known as **1002 ROAD 5900 (LAKE MUSKOKA)**
(Application No. **A/07/2026**)

TAKE NOTICE THAT the above noted application will be heard by the Town of Gravenhurst Committee of Adjustment on

Friday, May 15th, 2026
at 9:00 a.m. at the
Gravenhurst Municipal Offices
(Council Chambers)
5 Pineridge Gate
Gravenhurst, Ontario

TO CONSIDER a proposed minor variance application under Section 45 of the Planning Act, 1990, R.S.O. c.P.13, as amended.

AN EXPLANATION of the Purpose and Effect of the proposed minor variance, describing the lands to which the proposed minor variance applies, a Key Map showing the location of the lands to which the minor variance applies, and a sketch (Site Plan) showing the proposed minor variance, accompany this Notice.

A NOTICE of this Application has been sent to all property owners within 60 metres of the subject property and to the appropriate officials and agencies according to Ontario Reg. 200/96 under the Planning Act. This Notice has been sent to you for your information and does not require any response unless you wish to make one.

ADDITIONAL INFORMATION relating to the proposed minor variance, is available from the Development Services Department (Planning Division) by contacting Andrew Clark, Planner, 705-687-3412 ext. 2229 (andrew.clark@gravenhurst.ca), or Adam Ager, Manager of Planning Services ext. 2224 (adam.ager@gravenhurst.ca).

PUBLIC HEARING – Any person or agency may attend and provide representation at the hearing and/or make written representation prior to the hearing, either in support of, or in opposition to the proposed minor variance.

ALTERNATIVELY, ANY PERSON OR AGENCY may also provide verbal comments during the meeting electronically using MVI EasyConf Connect Conference System (this is NOT Zoom), in accordance with Section 238 of the Municipal Act and the Town's Procedural By-law. A request to address Committee electronically must be completed at www.Gravenhurst.ca/PublicParticipation and **submitted prior to 12:00 pm (Noon) on the day before the Public Hearing**. Please note that the public hearing is taking place in person and any issues with electronic participation will not prevent the meeting (and a potential decision) from proceeding.

FAILURE TO ATTEND HEARING - If you do not attend the Hearing, it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION - A copy of the decision of the Committee will be sent to the applicant and to each person who appeared or was represented by Counsel at the Hearing and who has filed with the Secretary-Treasurer a written request for notice of the decision.

Dated at the Town of Gravenhurst
This 5th day of May, 2026.

Adam Ager
Secretary-Treasurer

Variances Requested to Zoning By-law

Re: Application No. A/07/2026
MASON, Paul and RUDGE, Sara
Roll No. 020-036-07000

The applicants are proposing to expand the second floor of an existing Dwelling and recognize the location of existing structures as shown on the attached sketch dated May 5th, 2026.

The applicants are requesting to permit a maximum building height of 8.5 metres, where 7.5 metres is permitted, representing a variance of 1.0 metre.

The application also requests to recognize the following zoning relief for existing development on the property:

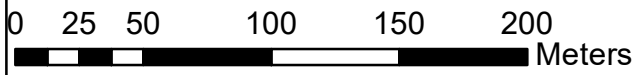
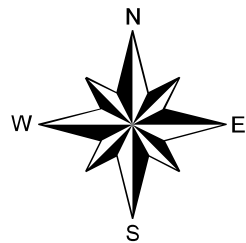
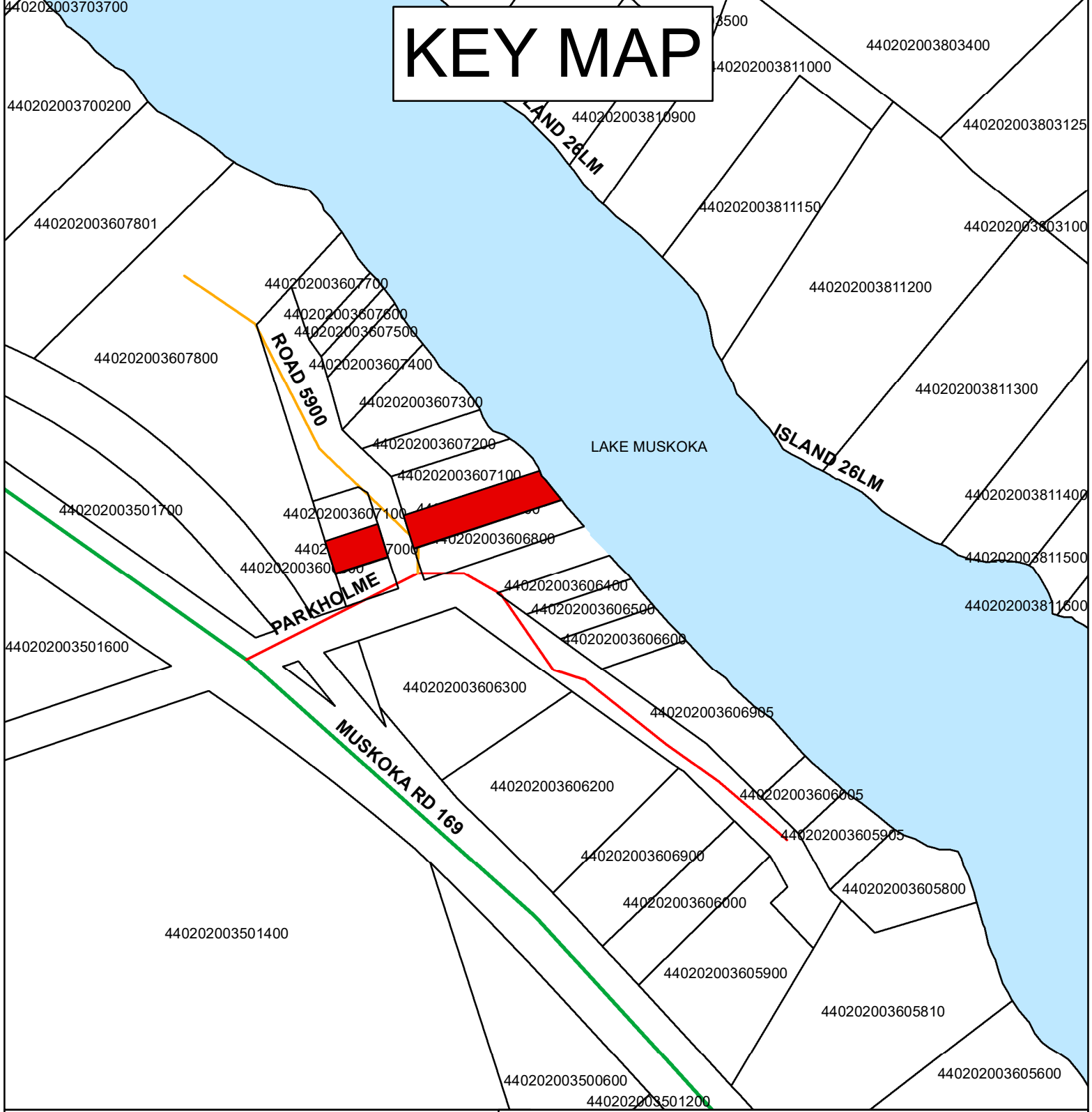
- A maximum Shoreline Development Area of 120.8 square metres to recognize existing shoreline development, where 69.0 square metres is permitted, representing a variance of 51.8 square metres
- A maximum Shoreline Development Width of 9.4 metres to recognize the existing Dock and Boathouse, where 6.5 metres is permitted, representing a variance of 2.9 metres
- A minimum setback of 2.7 metres from the northern side lot line for an existing shoreline Deck, where 6.0 metres is required, representing a variance of 3.3 metres
- A minimum setback of 0.4 metres for an existing Sauna and attached Deck from the northern side lot line, where 6.0 metres is required, representing a variance of 5.6 metres

- A minimum setback of 1.2 metres for an existing Sleeping Cabin from the northern side lot line, where 6.0 metres is required, representing a variance of 4.8 metres
- A minimum setback of 26.0 metres for an existing Sleeping Cabin from the Optimal Summer Water Level, where 30.0 metres is required, representing a variance of 4.0 metres
- A minimum setback of 3.3 metres for an existing shed from the southern side lot line, where 6.0 metres is required, representing a variance of 2.7 metres

ZONING BY-LAW 10-04, as amended – Residential Waterfront (RW-6A)

The property is municipally known as 1002 Road 5900 (Zoning Grid Schedule No. B03).

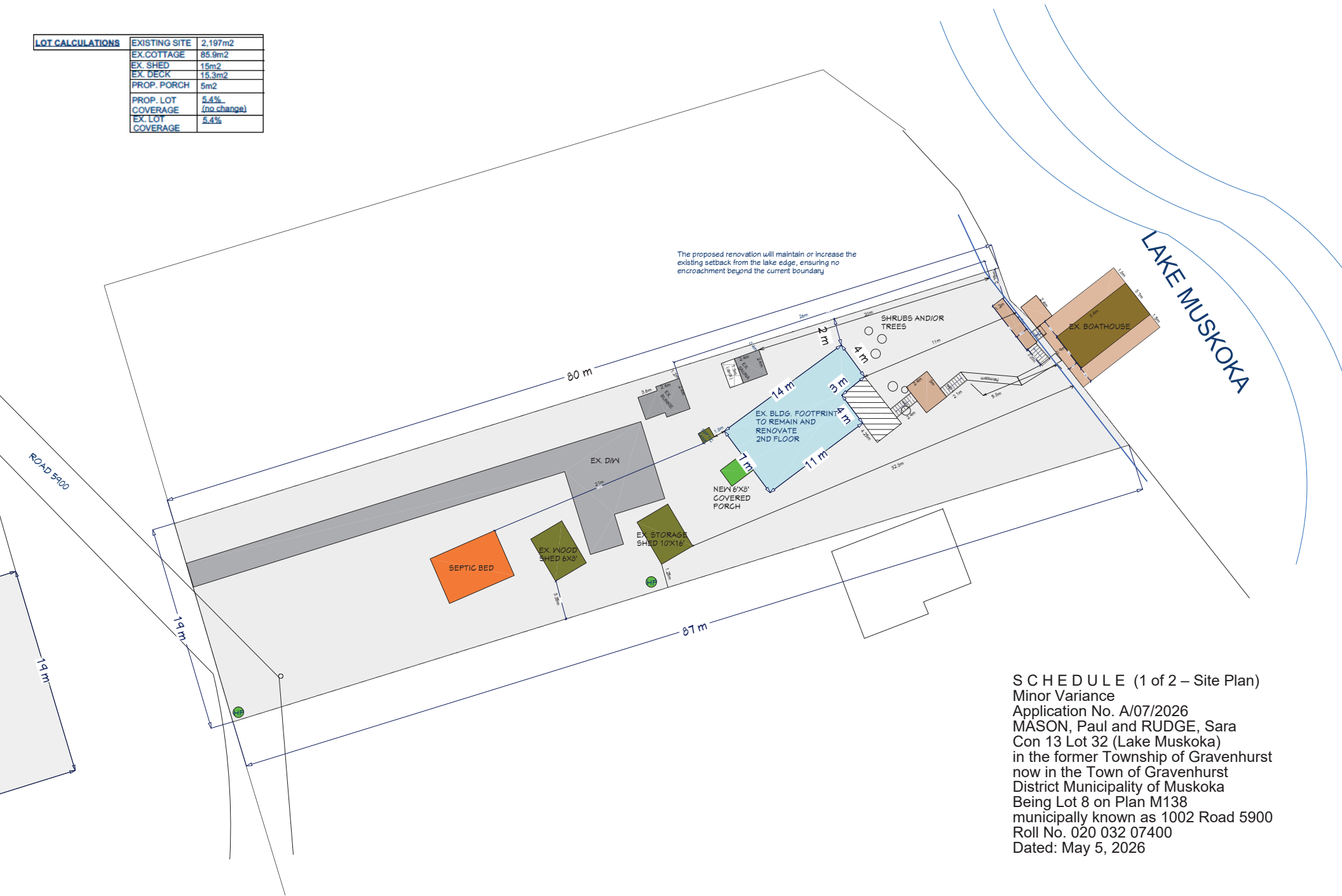
KEY MAP



1:2,951

SCHEDULE
Minor Variance
Application No. A/07/2026
MASON, Paul and RUDGE, Sara
Con 13 Lot 32 (Lake Muskoka)
in the former Township of Gravenhurst
now in the Town of Gravenhurst
District Municipality of Muskoka
Being Lot 8 on Plan M138
municipally known as 1002 Road 5900
Roll No. 020 032 07400

LOT CALCULATIONS	
EXISTING SITE	2,197m ²
EX. COTTAGE	85.9m ²
EX. SHED	15m ²
EX. DECK	15.3m ²
PROP. PORCH	5m ²
PROP. LOT COVERAGE	5.4% (no change)
EX. LOT COVERAGE	5.4%



The proposed renovation will maintain or increase the existing setback from the lake edge, ensuring no encroachment beyond the current boundary

SCHEDULE (1 of 2 – Site Plan)
 Minor Variance
 Application No. A/07/2026
 MASON, Paul and RUDGE, Sara
 Con 13 Lot 32 (Lake Muskoka)
 in the former Township of Gravenhurst
 now in the Town of Gravenhurst
 District Municipality of Muskoka
 Being Lot 8 on Plan M138
 municipally known as 1002 Road 5900
 Roll No. 020 032 07400
 Dated: May 5, 2026

SCHEDULE (2 of 2 - Elevation)
Minor Variance
Application No. A/07/2026
MASON, Paul and RUDGE, Sara
Con 13 Lot 32 (Lake Muskoka)
in the former Township of Gravenhurst
now in the Town of Gravenhurst
District Municipality of Muskoka
Being Lot 8 on Plan M138
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